

182 MEETINGHOUSE RD

Location	182 MEETINGHOUSE RD	Mblu	12/ 40/ / /
Acct#		Owner	RANDY SHAW TRUST
Assessment		PID	1522
Building Count	2	topoTopography	Rolling
Utility	Well, Public Sewer		

Current Value

Assessment
No Data for Current Valuation

Owner of Record

Owner	RANDY SHAW TRUST	Sale Price	\$2,666
	RANDALL M & KAREN E SHAW TRUSTEES	Certificate	
Address	182 MEETINGHOUSE RD	Book & Page	9341/712
		Sale Date	08/28/2020
	BEDFORD, NH 03110	Instrument	1F
		Qualified	U

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
RANDY SHAW TRUST	\$2,666		9341/712	1F	08/28/2020
SHAW RANDALL & KAREN	\$900,000		8181/0287	1S	02/24/2010
GREENPOINT MORTGAGE FUNDING INC	\$837,398		8142/2683	1L	10/13/2009
WEISBERG DEBORAH	\$1,400,000		7218/0241	1G	04/26/2004
ASHRAF MIAN	\$750,000		5284/1718	1G	09/26/1991

Building Information

Building 1 : Section 1

Year Built:	1987
Living Area:	5,128

Replacement Cost: \$1,420,569
Building Percent Good: 82
Replacement Cost
Less Depreciation: \$1,164,900

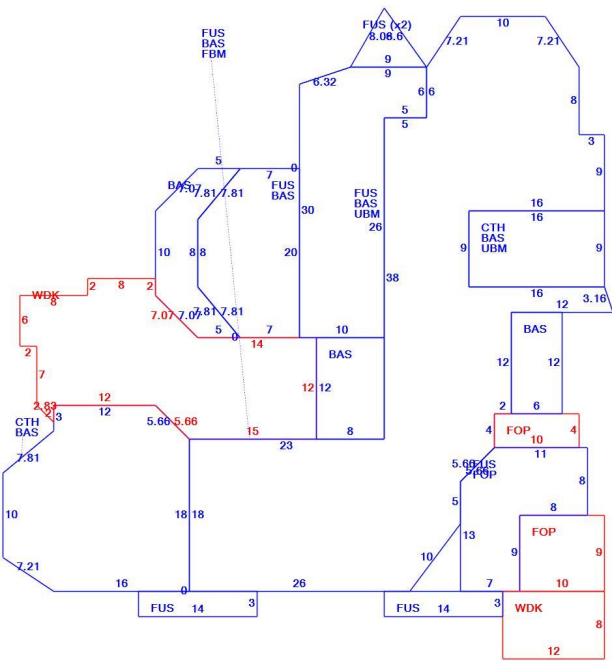
Building Attributes	
Field	Description
Style:	Modern/Contemp
Model	Residential
Grade:	Excellent +20
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Cedar or Redwd
Exterior Wall 2	Above Average
Roof Structure:	Gable/Hip
Roof Cover	Wood Shingle
Interior Wall 1	Drywall/Sheet
Interior Wall 2	Cust Wd Panel
Interior Flr 1	Hardwood
Interior Flr 2	Carpet
Heat Fuel	Gas
Heat Type:	Hot Water
AC Type:	Central
Total Bedrooms:	1 Bedroom
Total Bthrms:	2
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	9 Rooms
Bath Style:	Modern
Kitchen Style:	Modern
Num Kitchens	01
Cndtn	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	

Building Photo



(https://images.vgsi.com/photos/BedfordNHPhotos/\00\01\04\28.jpg)

Building Layout



(ParcelSketch.ashx?pid=1522&bid=1546)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	2,827	2,827
FUS	Upper Story, Finished	2,301	2,301
CTH	Cathedral Ceiling	575	0
FBM	Basement, Finished	1,425	0
FOP	Porch, Open	305	0
UBM	Basement, Unfinished	488	0
WDK	Deck, Wood	541	0
		8,462	5,128

Year Built:	1987
Living Area:	2,943
Replacement Cost:	\$553,140
Building Percent Good:	82
Replacement Cost	
Less Depreciation:	\$453,600

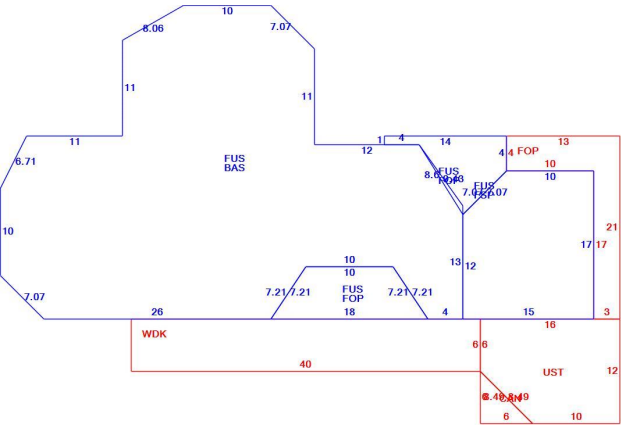
Building Attributes : Bldg 2 of 2	
Field	Description
Style:	Modern/Contemp
Model	Residential
Grade:	Good +30
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Above Average
Exterior Wall 2	Cedar or Redwd
Roof Structure:	Gable/Hip
Roof Cover	Wood Shingle
Interior Wall 1	Drywall/Sheet
Interior Wall 2	Cust Wd Panel
Interior Flr 1	Ceram Clay Til
Interior Flr 2	Carpet
Heat Fuel	Gas
Heat Type:	Hot Water
AC Type:	Central
Total Bedrooms:	4 Bedrooms
Total Bthrms:	3
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	9 Rooms
Bath Style:	Average
Kitchen Style:	Average
Num Kitchens	01
Cndtn	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	

Building Photo



(https://images.vgsi.com/photos/BedfordNHPhotos//00\01\04\29.jpg)

Building Layout



(ParcelSketch.ashx?pid=1522&bid=101222)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
FUS	Upper Story, Finished	1,666	1,666
BAS	First Floor	1,277	1,277
CAN	Canopy	18	0
FOP	Porch, Open	249	0
FSP	Porch, Screen	243	0
UST	Utility, Storage, Unfinished	174	0
WDK	Deck, Wood	240	0
		3,867	2,943

Extra Features

Extra Features					Legend
Code	Description	Size	Value	Assessed Value	Bldg #
ELV1	ELEV PASSENGER	1.00 STOPS	\$45,700	\$45,700	1

FPL3	2 STORY CHIM	2.00 UNITS	\$8,700	\$8,700	2
WHL	WHIRLPOOL	1.00 UNITS	\$3,000	\$3,000	1
WHL	WHIRLPOOL	1.00 UNITS	\$3,000	\$3,000	1
FPL	FIREPLACE	2.00 UNITS	\$2,300	\$2,300	1
FPO	EXTRA FPL OPEN	1.00 UNITS	\$900	\$900	1

Land

Land Use		Land Line Valuation	
Use Code	1090	Size (Acres)	5.06
Description	MULTI HSES	Frontage	0
Zone	RA	Depth	0
Neighborhood	50	Assessed Value	\$0
Alt Land Appr	No		
Category			

Outbuildings

Outbuildings							Legend
Code	Description	Sub Code	Sub Description	Size	Value	Assessed Value	Bldg #
SPL3	GUNITE			1040.00 S.F.	\$24,300	\$24,300	2
FGR1	GARAGE-AVE			816.00 S.F.	\$22,000	\$22,000	2
PAT1	PATIO-AVG			225.00 S.F.	\$1,200	\$1,200	1
FGR4	W/LOFT-AVG			1650.00 S.F.	\$47,500	\$47,500	2
FGR7	GARAGE W/ APT			1440.00 S.F.	\$52,600	\$52,600	1
PAT2	PATIO-GOOD			420.00 S.F.	\$3,800	\$3,800	2
CNP1	CANOPY-AVG			510.00 S.F.	\$11,200	\$11,200	1
SOLR	SOLAR PV PANELS			77.00 KW	\$77,000	\$77,000	1

Valuation History

Assessment					
Valuation Year	Building	Extra Features	Outbuildings	Land	Total
2022	\$1,618,500	\$63,600	\$239,600	\$226,600	\$2,148,300
2021	\$1,618,500	\$63,600	\$179,700	\$226,600	\$2,088,400
2020	\$1,460,900	\$64,400	\$179,700	\$167,100	\$1,872,100